



Govt. of West Bengal
WB e-district
GRIPS eChallan

GRN Details

GRN: 192021220123857371 Payment Mode: Online Payment
GRN Date: 29/11/2021 17:05:20 Bank/Gateway: CICI Bank
BRN: 70660610 BRN Date: 28/11/2021 17:11:51
Payment Status: Successful Payment Ref. No: 16042021102056941929
[1 Number]

Depositor Details

Depositor's Name: Mr. Debjyoti Ghosh
Address:
Mobile: 9836016301
Period From (dd/mm/yyyy): 29/11/2021
Period To (dd/mm/yyyy): 29/11/2021
Payment ID: 16042021102056941929
Payment Ref ID: 0852021010066697

Payment Details

Sl. No.	Payment ID	Head of A/C Description	Head of A/C	Amount (₹)
1	16042021102056941929	Fees for certified copies of Deed	0030 03-800-001-16	311
Total				311

IN WORDS: THREE HUNDRED ELEVEN ONLY.

Subit Commodeal
to
Ashok K. Agarwal.



भारतीय गैर न्यायिक INDIA NON JUDICIAL

एक हजार रुपये

रु.1000

ONE THOUSAND RUPEES

Rs.1000

पश्चिमबङ्ग पश्चिम बंगाल WEST BENGAL

T-139721

38821/21
on 10/03/21

Whereby the two documents are signed
in the presence of the signature sheets and
the documents are attached with
the documents are part of this document

District Sub-Registrar-IV
Registration (S-7) of
Registration 1908
Alipore, South 24 Parganas

10 MAR 2021

15/3/21

DEED OF CONVEYANCE

ANKIT COMMERCIAL PVT. LTD.
Rajendra Kumar
Director

Ashok Kumar Aggarwala



নম্বর :

363

সন ও তারিখ :

02/03/21

ফোটার নাম :

Sanjay Bhowmik, Dhu

ঠিকানা :

10/10/10

মূল :

10/10/10

ভেদন :

10/10/10

কোলা : উত্তর ২৪ পরগনা

গরিব : ১০

1 FEB 20 21

RS. 3.00000

মোট : ১০

কোলা : বারাসাত

ফোটার : শ্রী সত্যজিৎ বোস

ANKIT COMMODOAL PVT. LTD.

Papiya Kundu

Director

1446

ANKIT COMMODOAL PVT. LTD.

Papiya Kundu

Director

Ashor Kumar Agomwally

1448

Identified by me -

Sanjay Bhowmik

810, Bala Bhowmik

M.S. Rd, Hridaypur.

24 Pgs (H) Kol-128

10 MAR 2021

THIS DEED OF CONVEYANCE made the 09th day of March, 2021 Two Thousand twenty one (2021) of the Christian Era.

BETWEEN:

ANKIT COMMDEAL PVT LTD (PAN AAHCA5780B), a company incorporated under the Companies Act, 1956 having its registered office at 144 Ramdulal Sarkar Street, Girish Park, P.O. Beadon Street, P.S. Burotolla, Kolkata 700006, represented by its Director namely, Mrs Papiya Kundu (PAN ANVPK9903A, AADHAR-690091692791, PH NO- 9748777190), wife of Nitya Nanda Kundu, residing at 40A W.C. Banerjee Street, P.O. Beadon Street, P.S. Burtolla, Kolkata 700006, hereinafter referred to as the **VENDOR** (which expression shall unless excluded by or repugnant to the subject or context be deemed to mean and include its successor or successors-in-interest and assigns) of the **ONE PART**

AND

ASHOK KUMAR AGRAWALLA (PAN ACVPA7413J, AADHAR: 932999345130; PH. NO. 9830070160), son of Late Satya Narayan Agarwal, residing at Asha Tower 5D, 34/1 Bondel Road, P.O. Ballygunj, P.S. Karya, Kolkata 700019, hereinafter referred to as the **PURCHASER** (which expression shall unless excluded by or repugnant to the subject or context be deemed to mean and include its successor or successors-in-interest and assigns) of the **OTHER PART**:

Ashok Kumar Agrawalla

ANKIT COMMDEAL PVT. LTD.
Papiya Kundu
Director

WHEREAS:

A. By Virtue of a Deed of Conveyance dated 17th day of January, 2013, recorded in Book No. I, CD Volume No. 3, Pages 2519 to 2568, being No. 00514 for the year 2013, registered in the Office of the Additional District Sub-Registrar, Sonarpur, 1. MESSERS KARAN HORTICULTURE PRIVATE LIMITED, PAN NO. AACCK8093L a company incorporated under the companies Act. 1956. 2. M/S. ROSE VELLY ENCLAVE PRIVATE LTD. PAN NO. AADCR6571P a company incorporated under the companies Act. 1956. 3. SRI ASHOKE KUMAR DUTTA alias Ashoke Dutta alias Khokan Dutta, son of Late Krishna Mohan Dutta. 4. SRI SURAJIT DUTTA son of Late Swapan Dutta alias Swapan Kumar Dutta alias Kushal Kumar Dutta. 5. SMT. AVA DUTTA wife of Late Swapan Dutta alias Swapan Kumar Dutta alias Kushal Kumar Dutta. 6. SMT. PURNIMA DUTTA daughter of Late Krishna Mohan Dutta, Vendors therein sold, transferred and conveyed All that the piece and parcel of land measuring about 25.90 Decimal comprised in R.S. Dag No. 943 corresponding L.R. Dag No. 1095 appertaining to R.S. Khatian No. 1097, 8.90 Decimal comprised in R.S. Dag Nos. 944 corresponding L.R. Dag No. 1096 appertaining to R.S. Khatian No. 944, 44.12 Decimal comprised in R.S. Dag Nos. 945 corresponding L.R. Dag No. 1097 appertaining to R.S. Khatian No. 971, 14.57 Decimal comprised in R.S. Dag Nos. 946 corresponding L.R. Dag No. 1098 appertaining to R.S. Khatian No. 1097, 1.62 Decimal comprised in R.S. Dag Nos. 947 corresponding L.R. Dag No. 1099 appertaining to R.S. Khatian No. 1097, 20.64 Decimal comprised in R.S. Dag

Ashok Kumar Bysawal

ANKIT COMMODEAL PVT. LTD.
Rajniya Vardan
Director

Nos. 948 corresponding L.R. Dag No. 1100 appertaining to R.S. Khatian No. 1097, **7.97 Decimal** comprised in R.S. Dag Nos. 952 corresponding L.R. Dag No. 1104 appertaining to R.S. Khatian No. 951, **6.07 Decimal** comprised in R.S. Dag Nos. 935 corresponding L.R. Dag No. 1086 appertaining to R.S. Khatian No. 1100, **12.75 Decimal** comprised in R.S. Dag Nos. 938 corresponding L.R. Dag No. 1090 appertaining to R.S. Khatian No. 1113, **7.69 Decimal** comprised in R.S. Dag Nos. 939 corresponding L.R. Dag No. 1091 appertaining to R.S. Khatian No. 2606, **25.10 Decimal** comprised in R.S. Dag Nos. 940 corresponding L.R. Dag No. 1092 appertaining to R.S. Khatian No. 2606 situate and lying at Mouza Jagaddal, J.L. No.71, P.S. Sonarpur, Dist South 24-Parganas and **5.67 Decimal** comprised in R.S. Dag Nos. 2000 corresponding L.R. Dag No. 2040 appertaining to R.S. Khatian No. 261, **9.31 Decimal** comprised in R.S. Dag Nos. 2001 corresponding L.R. Dag No. 2041 appertaining to R.S. Khatian No. 360, **9.19 Decimal** comprised in R.S. Dag Nos. 2081 corresponding L.R. Dag No. 2127, appertaining to R.S. Khatian No. 842 situate and lying at Mouza Elachi, J.L. No.70, P.S. Sonarpur, Dist South 24-Parganas, aggregating to **199.5 Decimal** equivalent to 120 Cottah 11 Chitaks 7 Sq.ft. be the same a little more or less out of 492.9 decimal equivalent to 298 Cottah 03 Chitaks 12 Sq.ft to Ankit Commodeal Pvt. Ltd., Vendor herein, & Sixteen others. And they are 1. SRI PRAMOD KUMAR AGRAWAL PAN NO. AERPA2675J s/o Late Om Prakash Agrawal. 2. ABHISHEK AGRAWAL PAN NO. ADDPA2877R s/o Pramod Kumar Agrawal. 3. GUGANRAM TEXCOM (PVT) LTD. PAN NO. AAFCP9791H Company incorporated under the companies Act.

Anshu Kumar Agrawala

ANKIT COMMDEAL PVT. LTD.

Rajiya Verma

Director

[Signature]

1956. 4. SRI PRAMOD KUMAR AGRAWAL (HUF) PAN NO. AAEP8253N. 5. R.P. TRADE LINK PVT. LTD. PAN NO. AADCR3564J incorporated under the companies Act. 1956. 6. RAM COMPLEX (P) LTD. PAN NO. AAECR3891H incorporated under the companies Act. 1956. 7. NIHON MERCHANTS (PVT) LTD. PAN NO. AAACN8720H incorporated under the companies Act. 1956. 8. RIDHI SIDHI FINTRADE (PVT) LTD. PAN NO. AABCR4992A incorporated under the companies Act. 1956. 9. APOLLO VINIMAY PVT. LTD. PAN NO. AACCA2624D incorporated under the companies Act. 1956. 10. PRAGATI REALTORS PVT. LTD. PAN NO. AADCP0981H incorporated under the companies Act. 1956. 11. AAR ESS HOMES PVT. LTD. PAN NO. AACCA2602B incorporated under the companies Act. 1956. 12. PSD INFRA PROJECTS PVT. LTD. PAN NO. AAGCP3406Q incorporated under the companies Act. 1956. 13. P D INFRA REALTY PVT. LTD. PAN NO. AAGCP3618J incorporated under the companies Act. 1956. 14. PARASPYARA COMMERCIAL PVT. LTD. PAN NO. AABCP6737B incorporated under the companies Act. 1956. 15. ARCHANA IMPEX PVT. LTD. PAN NO. AACCA2601C incorporated under the companies Act. 1956. 16. NIRMAL JAIN PAN NO. ACQPJ8739D s/o Late Ratan Lal Bardia jointly.

B. Thus the said Ankit Commodeal Pvt. Ltd., Vendor herein became absolute owner of All that the undivided piece and parcel of land measuring about 1.524 Decimal comprised in R.S. Dag No. 943 corresponding L.R. Dag No. 1095 appertaining to R.S. Khatian No. 1097, 0.524 Decimal comprised in R.S. Dag Nos. 944 corresponding L.R. Dag No. 1096 appertaining to R.S. Khatian No. 944,

Ashok Kumar Aggarwala

ANKIT COMMODEAL PVT. LTD.
Rajniya Verma
Director

2.595 Decimal comprised in R.S. Dag Nos. 945 corresponding L.R. Dag No. 1097 appertaining to R.S. Khatian No. 971, 0.857 Decimal comprised in R.S. Dag Nos. 946 corresponding L.R. Dag No. 1098 appertaining to R.S. Khatian No. 1097, 0.095 Decimal comprised in R.S. Dag Nos. 947 corresponding L.R. Dag No. 1099 appertaining to R.S. Khatian No. 1097, 1.214 Decimal comprised in R.S. Dag Nos. 948 corresponding L.R. Dag No. 1100 appertaining to R.S. Khatian No. 1097, 0.469 Decimal comprised in R.S. Dag Nos. 952 corresponding L.R. Dag No. 1104 appertaining to R.S. Khatian No. 951, 0.357 Decimal comprised in R.S. Dag Nos. 935 corresponding L.R. Dag No. 1086 appertaining to R.S. Khatian No. 1100, 0.75 Decimal comprised in R.S. Dag Nos. 938 corresponding L.R. Dag No. 1090 appertaining to R.S. Khatian No. 1113, 0.452 Decimal comprised in R.S. Dag Nos. 939 corresponding L.R. Dag No. 1091 appertaining to R.S. Khatian No. 2606, 1.476 Decimal comprised in R.S. Dag Nos. 940 corresponding L.R. Dag No. 1092 appertaining to R.S. Khatian No. 2606 under L.R. Khatian 3201 situate and lying at Mouza Jagaddal, J.L. No.71, P.S. Sonarpur, Dist South 24-Parganas and 0.333 Decimal comprised in R.S. Dag Nos. 2000 corresponding L.R. Dag No. 2040 appertaining to R.S. Khatian No. 261, 0.549 Decimal comprised in R.S. Dag Nos. 2001 corresponding L.R. Dag No. 2041 appertaining to R.S. Khatian No. 360, 0.540 Decimal comprised in R.S. Dag Nos. 2081 corresponding L.R. Dag No. 2127, appertaining to R.S. Khatian No. 842 under L.R. Khatian 2681 situate and lying at Mouza Elachi, J.L. No.70, P.S. Sonarpur, Dist South 24-Parganas, aggregating to 11.735 Decimal equivalent to 7 Cottah 1 Chitaks 26 Sq.ft. be the

Ashok Kumar Bhattacharya

ANKIT COMMIDEAL PVT. LTD.

Rajiya Verma
Director

same a little more or less, morefully and particularly described in the schedule hereunder written and hereafter referred to as the 'said land', and mutated its name under West Bengal State Government Land and record.

C. The Vendor herein has agreed to sell and the Purchaser has agreed to purchase All That the Said Land free from all encumbrances, charges, liens, lispendens, acquisitions, requisitions, attachments, trusts of whatsoever nature more fully and particularly described in the schedule hereunder written at and for the consideration of a sum of Rs. 43,00,000/- (Rupees Forty Three Lakh) only. This land will be used for development for residential purpose only.

NOW THIS INDENTURE WITNESSETH that in pursuance of the said agreement and in consideration of the said sum of Rs. 43,00,000/- (Rupees Forty Three Lakh) only of the lawful money of the Union of India well and truly paid by the Purchaser to the Vendor at or before the execution of these presents (the receipt whereof the Vendor doth hereby as also by the receipt hereunder written admit and acknowledge and of and from the same and every part thereof forever acquit release and discharge the Purchaser and the said land) the Vendor doth hereby grant transfer convey assign and assure unto and in favour of the Purchaser All that the piece and parcel of land measuring about **1.524 Decimal** comprised in R.S. Dag No. 943 corresponding L.R. Dag No. 1095 appertaining to R.S. Khatian No. 1097, **0.524 Decimal** comprised in R.S. Dag Nos. 944 corresponding L.R. Dag No. 1096 appertaining to R.S. Khatian No. 944, 2.595

Ashok Kumar Agnewalla

ANKIT COMMODEAL PVT. LTD.

Papiya Verma

Director

[Signature]

same a little more or less, morefully and particularly described in the schedule hereunder written and hereinafter referred to as the 'said land', and mutated its name under West Bengal State Government Land and record.

C. The Vendor herein has agreed to sell and the Purchaser has agreed to purchase All That the Said Land free from all encumbrances, charges, liens, lispendens, acquisitions, requisitions, attachments, trusts of whatsoever nature more fully and particularly described in the schedule hereunder written at and for the consideration of a sum of Rs. 43,00,000/- (Rupees Forty Three Lakh) only. This land will be used for development for residential purpose only.

NOW THIS INDENTURE WITNESSETH that in pursuance of the said agreement and in consideration of the said sum of Rs. 43,00,000/- (Rupees Forty Three Lakh) only of the lawful money of the Union of India well and truly paid by the Purchaser to the Vendor at or before the execution of these presents (the receipt whereof the Vendor doth hereby as also by the receipt hereunder written admit and acknowledge and of and from the same and every part thereof forever acquit release and discharge the Purchaser and the said land) the Vendor doth hereby grant transfer convey assign and assure unto and in favour of the Purchaser All that the piece and parcel of land measuring about 1.524 Decimal comprised in R.S. Dag No. 943 corresponding L.R. Dag No. 1095 appertaining to R.S. Khatian No. 1097, 0.524 Decimal comprised in R.S. Dag Nos. 944 corresponding L.R. Dag No. 1096 appertaining to R.S. Khatian No. 944, 2.595

Ashok Kumar Agrawala

ANIGT COMMODEAL PVT. LTD.

Papiya Mondal

Director

Decimal comprised in R.S. Dag Nos. 945 corresponding L.R. Dag No. 1097 appertaining to R.S. Khatian No. 971, 0.857 Decimal comprised in R.S. Dag Nos. 946 corresponding L.R. Dag No. 1098 appertaining to R.S. Khatian No. 1097, 0.095 Decimal comprised in R.S. Dag Nos. 947 corresponding L.R. Dag No. 1099 appertaining to R.S. Khatian No. 1097, 1.214 Decimal comprised in R.S. Dag Nos. 948 corresponding L.R. Dag No. 1100 appertaining to R.S. Khatian No. 1097, 0.469 Decimal comprised in R.S. Dag Nos. 952 corresponding L.R. Dag No. 1104 appertaining to R.S. Khatian No. 951, 0.357 Decimal comprised in R.S. Dag Nos. 935 corresponding L.R. Dag No. 1086 appertaining to R.S. Khatian No. 1100, 0.75 Decimal comprised in R.S. Dag Nos. 938 corresponding L.R. Dag No. 1090 appertaining to R.S. Khatian No. 1113, 0.452 Decimal comprised in R.S. Dag Nos. 939 corresponding L.R. Dag No. 1091 appertaining to R.S. Khatian No. 2606, 1.476 Decimal comprised in R.S. Dag Nos. 940 corresponding L.R. Dag No. 1092 appertaining to R.S. Khatian No. 2606 under L.R. Khatian 3201 situate and lying at Mouza Jagaddal, J.L. No.71, P.S. Sonarpur, Dist South 24-Parganas and 0.333 Decimal comprised in R.S. Dag Nos. 2000 corresponding L.R. Dag No. 2040 appertaining to R.S. Khatian No. 261, 0.549 Decimal comprised in R.S. Dag Nos. 2001 corresponding L.R. Dag No. 2041 appertaining to R.S. Khatian No. 360, 0.540 Decimal comprised in R.S. Dag Nos. 2081 corresponding L.R. Dag No. 2127, appertaining to R.S. Khatian No. 842 under L.R. Khatian 2681 situate and lying at Mouza Elachi, J.L. No.70, P.S. Sonarpur, Dist South 24-Parganas, aggregating to 11.735 Decimal equivalent to 7 Cottah 1 Chitaks 26 Sq.ft. be the

Atthok Kumar Dymwally

ANJIT COMMERCIAL PVT. LTD.
Bapiya Verma
Director

same a little more or less and shown and delineated in the map or plan annexed hereto and bordered in colour Red thereon (hereinafter referred to as "the said land") OR HOWSOEVER OTHERWISE the said land or any part thereof now is or heretofore was situated, butted, bounded, called, known, numbered, described and distinguished Together With all areas sewers drains ditches ancient and other lights, paths, passages and all manner of rights, privileges easements, advantages and appurtenances whatsoever to the said land or any part thereof belonging to or anywise appertaining or usually held, occupied or enjoyed or reputed known as part parcel or member thereof or appurtenant thereto and all the estate, right, title, interest, property, claim and demand whatsoever both at law or in equity of the Vendor into and upon the same or any part thereof Together With all deeds, pattahs, muniments of title whatsoever relating to the said land or any part thereof which now are or at any time hereafter shall or may be in the possession, power or control of the Vendor or any other person or persons from whom they may procure the same without any action or suit TO HAVE AND TO HOLD the said land hereby sold granted, conveyed, transferred assigned and assured or otherwise expressed or intended so to be and every part thereof unto and to the use of the Purchaser absolutely and forever and the Vendor do and each of them doth hereby covenant with the Purchaser THAT NOTWITHSTANDING any act, deed or thing by the Vendor or their respective predecessors-in-title done or executed or knowingly suffered to the contrary the Vendor are now lawfully, rightfully and absolutely seized and possessed of or

Attest Kumar Pyawalla

ANKIT COM/IDEAL PVT. LTD.
Rajiya Vender
Director

otherwise well and sufficiently entitled to the said land hereby granted, transferred and conveyed or expressed or intended so to be and every part thereof without any manner or condition, use, trust or other thing whatsoever to alter, defeat, encumber or make void the same AND THAT NOTWITHSTANDING any such act, deed or thing whatsoever as aforesaid the Vendor have now in themselves good right, full power and absolute authority to grant, transfer and convey the said land hereby granted, transferred and conveyed or expressed or intended so to be unto and to the use of the Purchaser in manner aforesaid AND the Purchaser shall and may at all times hereafter peaceably and quietly possess and enjoy the said land and receive the rents, issues and profits thereof without any lawful eviction, interruption, claim or demand from or by the Vendor or any person or persons lawfully or equitably claiming from under or in trust for them AND that free and clear and freely and clearly absolutely acquitted, exonerated and released or otherwise by and at the costs and expenses of the Vendor well and sufficiently indemnified of from and against all manners of claims, charges, liens, debts, attachments and encumbrances whatsoever made or suffered by the Vendor or any person or persons lawfully or equitably claiming as aforesaid AND further that the Vendor and all persons having or lawfully or equitably claiming any estate or interest whatsoever in the said land or any part thereof from under or in trust for them the Vendor shall and will from time to time and at all times hereafter at the request and costs of the Purchaser do and execute or cause to be done and executed all such acts, deeds and things whatsoever for further better

Ashok Kumar Aggarwala

ANVIT COMMERCIAL PVT. LTD.
Rajniya Verma
Director

and more perfectly assuring the said land and every part thereof unto and to the use of the Purchaser in manner aforesaid as shall or may be reasonably required.

THE SCHEDULE ABOVE REFERRED TO :

All that piece and parcel undivided vacant land admeasuring about 11.735 decimal lying and situate at Mouza Jagaddal, J.L. No. 71, Elachi, J.L. No. 70, appertaining to L.R. Khatian No. 3201 & 2681 respectively, Police Station Sonarpur, Rajpur Sonarpur Municipality, 24 Parganas South as per box bellow:

Mouza Jagaddal

R.S. Kha.	L.R. Kha.	R.S. Dag	L.R. Dag	Classification	Total Area (in dec.)	Sold Area (in dec.)
1097	3201	943	1095	BAGAN	64	1.524
944	Do	944	1096	DO	22	0.524
971	Do	945	1097	DO	109	2.595
1097	Do	946	1098	PUKUR	36	0.857
1097	Do	947	1099	PUKUR PAR	04	0.095
951	Do	948	1100	BAGAN	51	1.214
951	Do	952	1104	BASTU	51	0.469

Director

ANKIT COMMERCIAL PVT. LTD.

Papiya Verma

1100	Do	935	1086	BASTU	66	0.357
1103	Do	938	1090	BAGAN	54	0.75
2606	Do	940	1092	DANGA	62	1.476
2606	Do	939	1091	DOBA	19	0.452
Total						10.313

Ashok Kumar Aggarwala

Mouza Elachi

R.S. Kha.	L.R. Kha.	R.S. Dag	L.R. Dag	CLASSIFICATION	Total Area (in dec.)	Sold Area (in dec.)
842	2681	2081	2127	BASTU	90	0.540
261	Do	2000	2040	BAGAN	14	0.333
360	Do	2001	2041	DANGA	23	0.549
Total						1.422
Grand Total						11.735

ANKIT COMMODEAL PVT. LTD.
Rajya Vardan
Director

The entire land delineated in the annexed hereto and bordered thereon and
butted and bounded in the following manner

ON THE NORTH: Ramchand Dey Street, R.S. Dag No. 953, 2081, 2080, 2079

ON THE SOUTH: R.S. Dag No. 935(P), 941, 942, 1099

ON THE EAST: Dutta Para Lane, R.S. Dag No. 952(P), 951, 950, *wide 10' (Ten feet)*
949, 937, 938(P), 935(P) *gla*

ON THE WEST: R.S. Dag No. 2079, 1998, 1999, 941, 935 (P)

IN WITNESS WHEREOF the Parties under this Agreement hereunto set and subscribes their respective hands and seals on the day, month and year first above written IN PRESENCE OF WITNESS AT KOLKATA:

Witness

1. *[Signature]*
ANANESH MANDAL
S/o - Rajal Mandal
144, Ram Duttal Sarani 3-601-06

ANKIT COMMIDEAL PVT. LTD.
Papiya Kundu
Director
SIGNATURE OF VENDOR.

2. *Tamal Kundu*
S/O TARAPADA KUNDU
40A, W.C. BANERJEE STREET
KOL-6

Akhok Kumar Agrawalla
SIGNATURE OF PURCHASERS.

Drafted by *[Signature]*
(SANJOY BISWAS)
Advocate
Barasat Judges' Court
License No. 494/2006

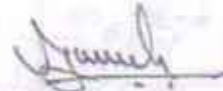
RECEIVED of and from the within-named Purchaser the within-mentioned sum of Rs. 43, 00,000/- (Rupees Forty Three Lakh only) being the full consideration money as per Memo below:-

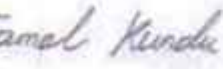
MEMO OF CONSIDERATION

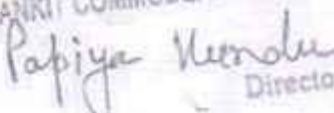
Date	Bank	Cheque	Amount
12.11.2018	Andhra Bank	Cheque/RTGS	1500000/-
14.11.2018	Andhra Bank	Cheque/RTGS	1700000/-
16.11.2018	Andhra Bank	Cheque/RTGS	800000/-
25.03.2019	Andhra Bank	Cheque/RTGS	300000/-

Rs. 43, 00,000/- (Rupees Forty three Lakh only)

WITNESSES:

1. 
CHANESH MANDAL
 S/O - Rajat Mandal
 144, Rambhadracharya St. Kol-06

2. 
TAMAL KUNDU
 S/O - TARAPADA KUNDU
 40A, N. C. BANERJEE STREET
 KOLKATA - 06

ANKIT COMMOMODEAL PVT. LTD.

 Director

UNDER RULE 44A OF THE I.R. ACT 19



(1)

Name Papiya Kundu

Status - Presentant

LEFT HAND FINGER PRINTS

LITTLE	RING	MIDDLE	FORE	THUMB

RIGHT HAND FINGER PRINTS

THUMB	FORE	MIDDLE	RING	LITTLE

All the above fingerprints are of the abovenamed person and attested by the said person

Papiya Kundu
Signature of the presentant



(2)

Name Ashok Kumar Agrawalla

Status - Presentant/Executant/Claimant/Attorney/Principal/Guardian/Testator (✓)

LEFT HAND FINGER PRINTS

LITTLE	RING	MIDDLE	FORE	THUMB

RIGHT HAND FINGER PRINTS

THUMB	FORE	MIDDLE	RING	LITTLE

All the above fingerprints are of the abovenamed person and attested by the said person

Ashok Kumar Agrawalla
Signature of the Presentant / Executant /
Claimant/Attorney/Principal/Guardian/Testator. (Tick the appropriate status)



Government of West Bengal

Department of Finance (Revenue), Directorate of Registration and Stamp Revenue
OFFICE OF THE D.S.R. - IV SOUTH 24-PARGANAS, District Name :South 24-Parganas

Signature / LTI Sheet of Query No/Year 16042000387711/2021

I. Signature of the Person(s) admitting the Execution at Private Residence.

Sl No.	Name of the Executant	Category	Photo	Finger Print	Signature with date
1	Mr ASHOK KUMAR AGRAWALLA Asha Tower., Block/Sector: 5D, 34/1 Bondel Road, P.O:- BALLYGUNGE, P.S:- Karaya, District:- South 24-Parganas, West Bengal, India, PIN - 700019	Buyer			ASHOK KUMAR AGRAWALLA
2	Mrs Papiya Kundu 40A W.C. Banerjee Street, P.O:- Beadon Street, P.S:- Burtola, Kolkata, District-Kolkata, West Bengal, India, PIN - 700006	Representative of Seller [ANKIT COMMOD EAL PRIVATE LIMITED]			Papiya Kundu
Sl No.	Name and Address of Identifier	Identifier of	Photo	Finger Print	Signature with date
1	Mr SANJOY BISWAS Son of Mr BALAJI BISWAS N.S ROAD, P.O:- HRIDAYPUR, P.S:- Barasat, Barasat, District:-North 24-Parganas, West Bengal, India, PIN - 700127	Mr ASHOK KUMAR AGRAWALLA			Sanjoy Biswas

Query No:-16042000387711/2021, 09/03/2021 11:44:20 AM SOUTH 24-PARGANAS (D.S.R. - IV)

Page 2 of 3

(Pradipta Kishore Guha)

DISTRICT SUB-
REGISTRAR

OFFICE OF THE D.S.R. -
IV SOUTH 24-PARGANAS

South 24-Parganas, West
Bengal

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

ANKIT COMMODEAL PRIVATE LIMITED



04/03/2009

Permanent Account Number

AAHCA5780B

17032009

ANKIT COMMODEAL PVT. LTD.

Papiya Meenu

Director



आयकर विभाग

INCOME TAX DEPARTMENT

PAPIYA KUNDU

ASHOK MAHINDAR

7/08/1979

Permanent Account Number

ANVVPK9903A

Papiya

Kundu

Signature

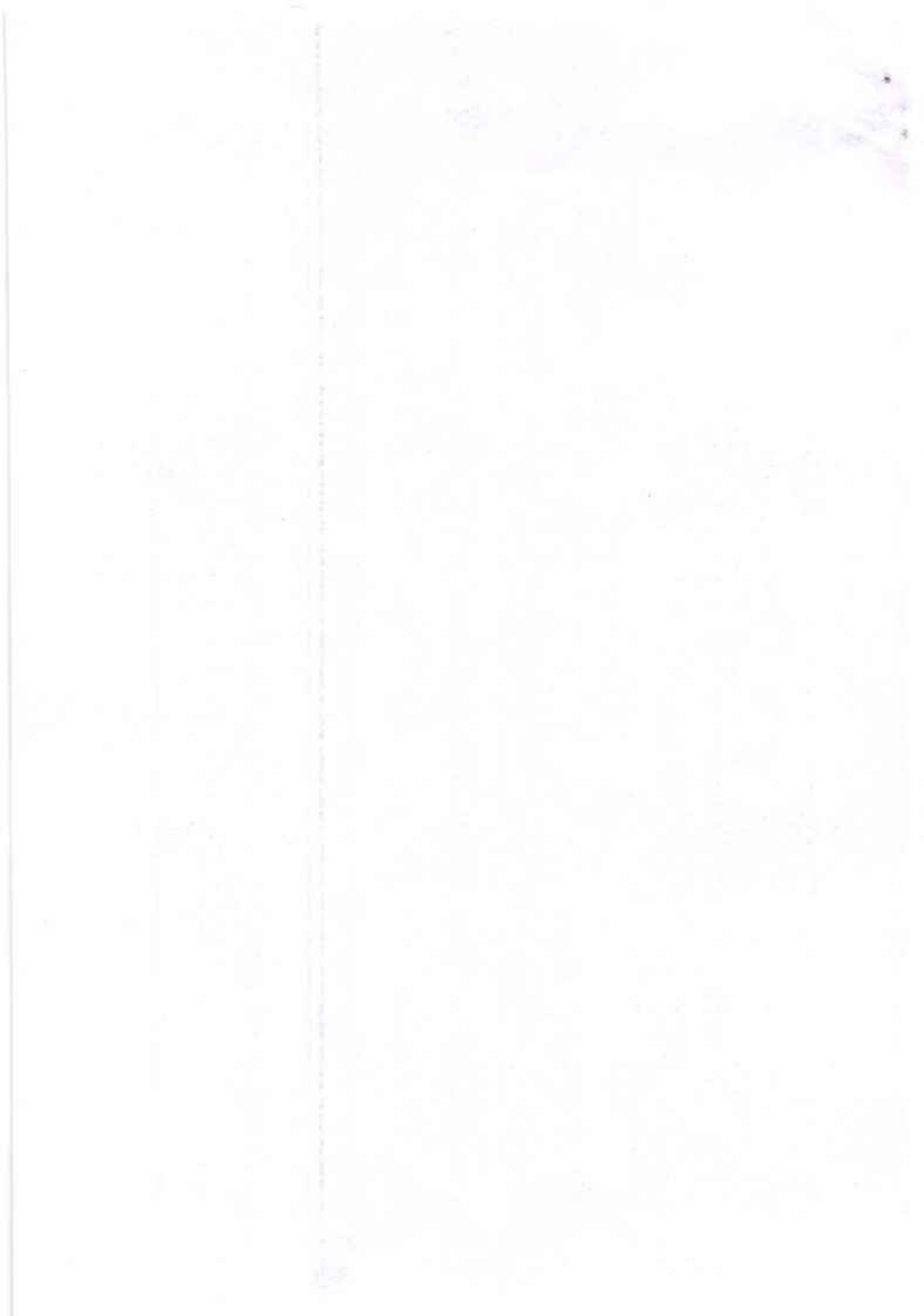
Papiya Kundu

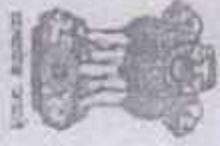


भारत सरकार

GOVT. OF INDIA







ভারত সরকার

Government of India



পাপিয়া কুন্ডু

Papiya Kundu

পিতা : অশোক মহিন্দর

Father : Ashok Mahindar

জন্মতারিখ / DOB : 17/08/1979

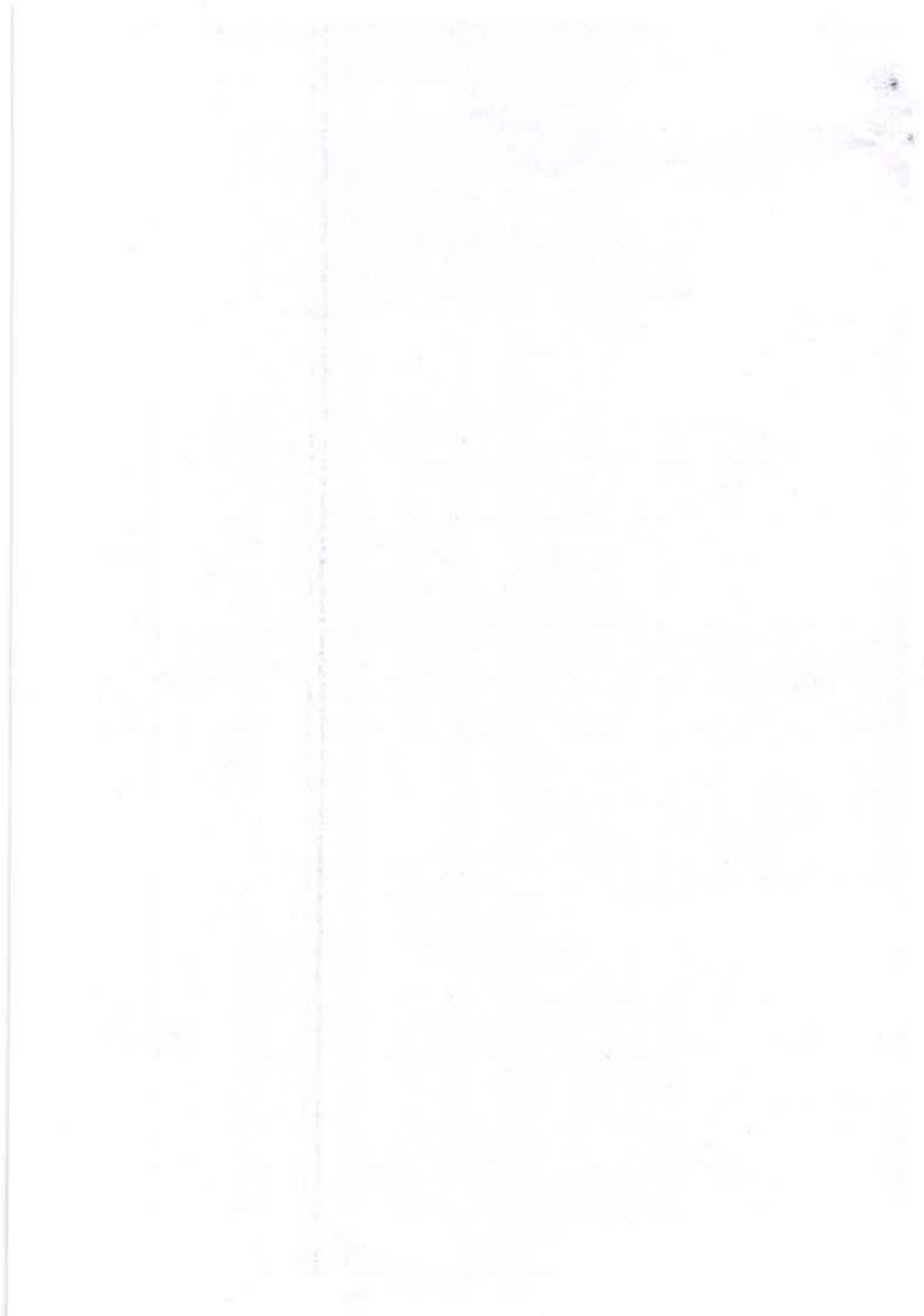
মহিলা / Female

6900 9169 2791



আধার - সাধারণ আনুসঙ্গিক

Papiya Kundu





ELECTION COMMISSION OF INDIA

ভারতের নির্বাচন কমিশন

IDENTITY CARD

FZM0806854

পরিচয় পত্র

Duplicate

প্রতিলিপ



Elector's Name Papiya Kundu

নির্বাচকের নাম পাপিয়া কুন্ডু

Husband's Name Nityananda Kundu

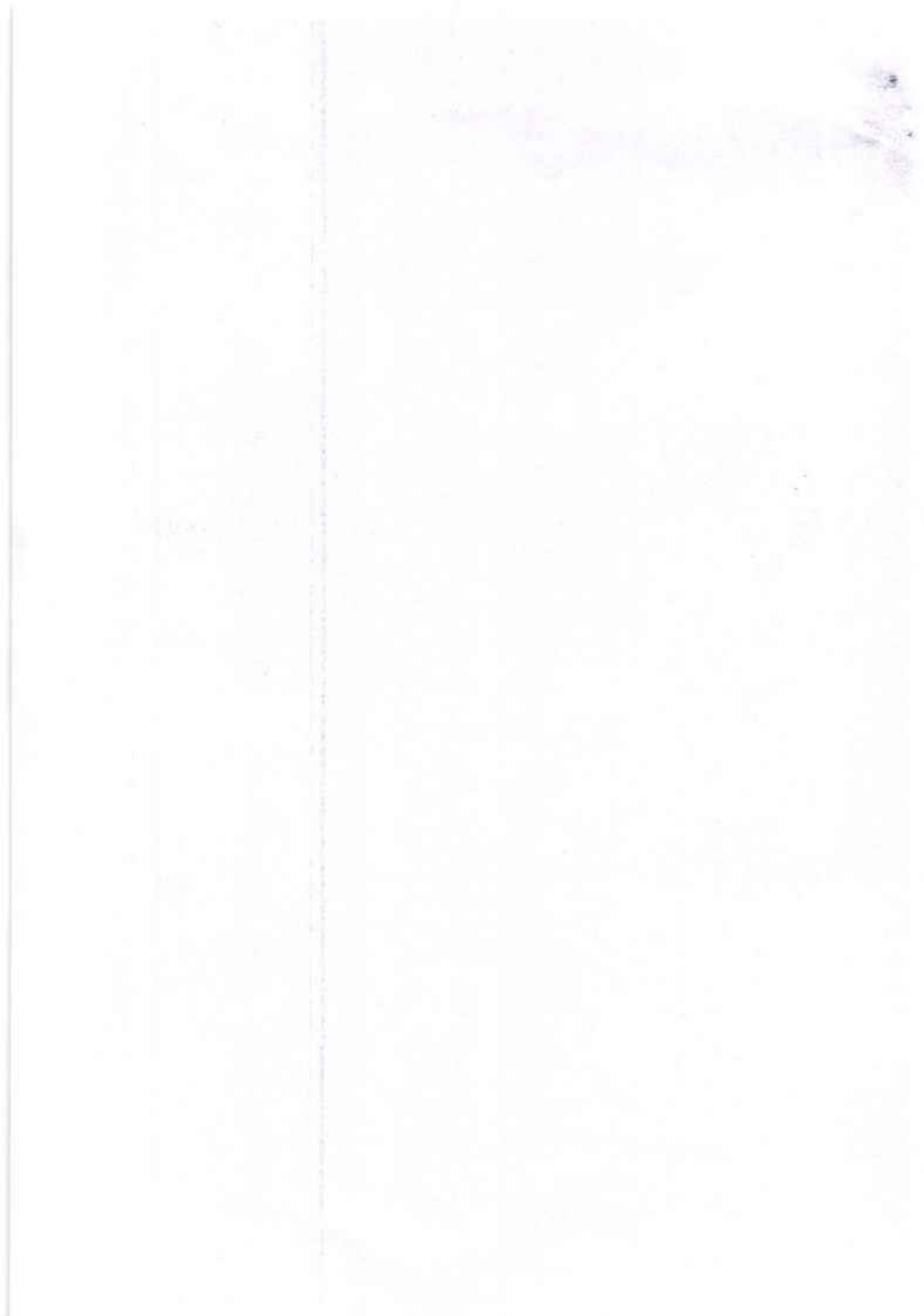
স্বামীর নাম নিত্যানন্দ কুন্ডু

Sex F
লিঙ্গ স্ত্রী

Age as on 1.1.2006 26

১.১.২০০৬ এ বয়স ২৬

Papiya Kundu



Address:

40A W.C.BANERJEE STREET GRISH PARK KOLKATA
700006

বিক্রয়:

৪০এ ডি.ই.বি. সি. ব্যানার্জী স্ট্রীট গ্রিশ পার্ক কলকাতা ৭০০০০৬

Facsimile Signature
Electoral Registration Officer
নির্বাচক নিবন্ধন আধিকারিক

Assembly Constituency: 141-Shyampur

বিধানসভা নির্বাচন ক্ষেত্র: ১৪১-শ্যামপুর

District: Kolkata

জেলা: কলকাতা

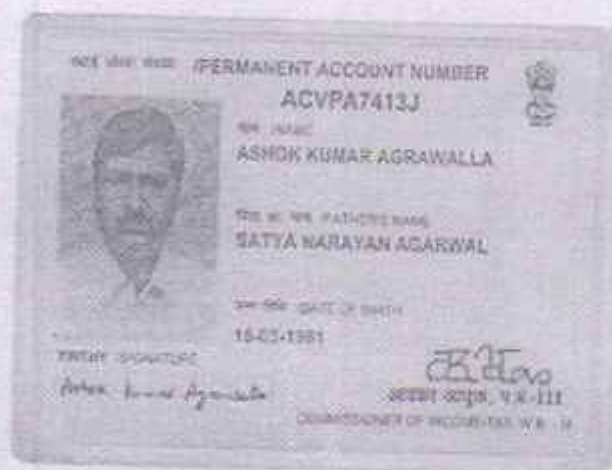
Date: 02.02.2006

তারিখ: ০২.০২.২০০৬

054/1048



Ashok Kumar Agrawala



Ashok Kumar Agrawalla



Government of West Bengal
Directorate of Registration & Stamp Revenue
e-Assessment Slip

Scanned

Query No / Year	2000387711/2021	Office where deed will be registered
Query Date	20/02/2021 9:15:31 PM	Deed can be registered in any of the offices mentioned on Note: 11
Applicant Name, Address & Other Details	SANJOY BISWAS N.S ROAD, HRIDAYPUR, Thana : Barasat, District : North 24-Parganas, WEST BENGAL, PIN - 700127, Mobile No. : 9883267297, Status: Advocate	
Transaction	Additional Transaction	
[0101] Sale, Sale Document	[4305] Other than Immovable Property, Declaration [No of Declaration : 2]	
Set Forth Value	Market Value	
Rs. 43,00,000/-	Rs. 45,04,568/-	
Total Stamp Duty Payable(SD)	Total Registration Fee Payable	
Rs. 2,70,294/- (Article:23)	Rs. 45,092/- (Article:A(1), E, M)	
Mutation Fee Payable	Expected date of Presentation of Deed	Amount of Stamp Duty to be Paid by Non Judicial Stamp
	23/02/2021	Rs. 1,000/-
Remarks		

Land Details :

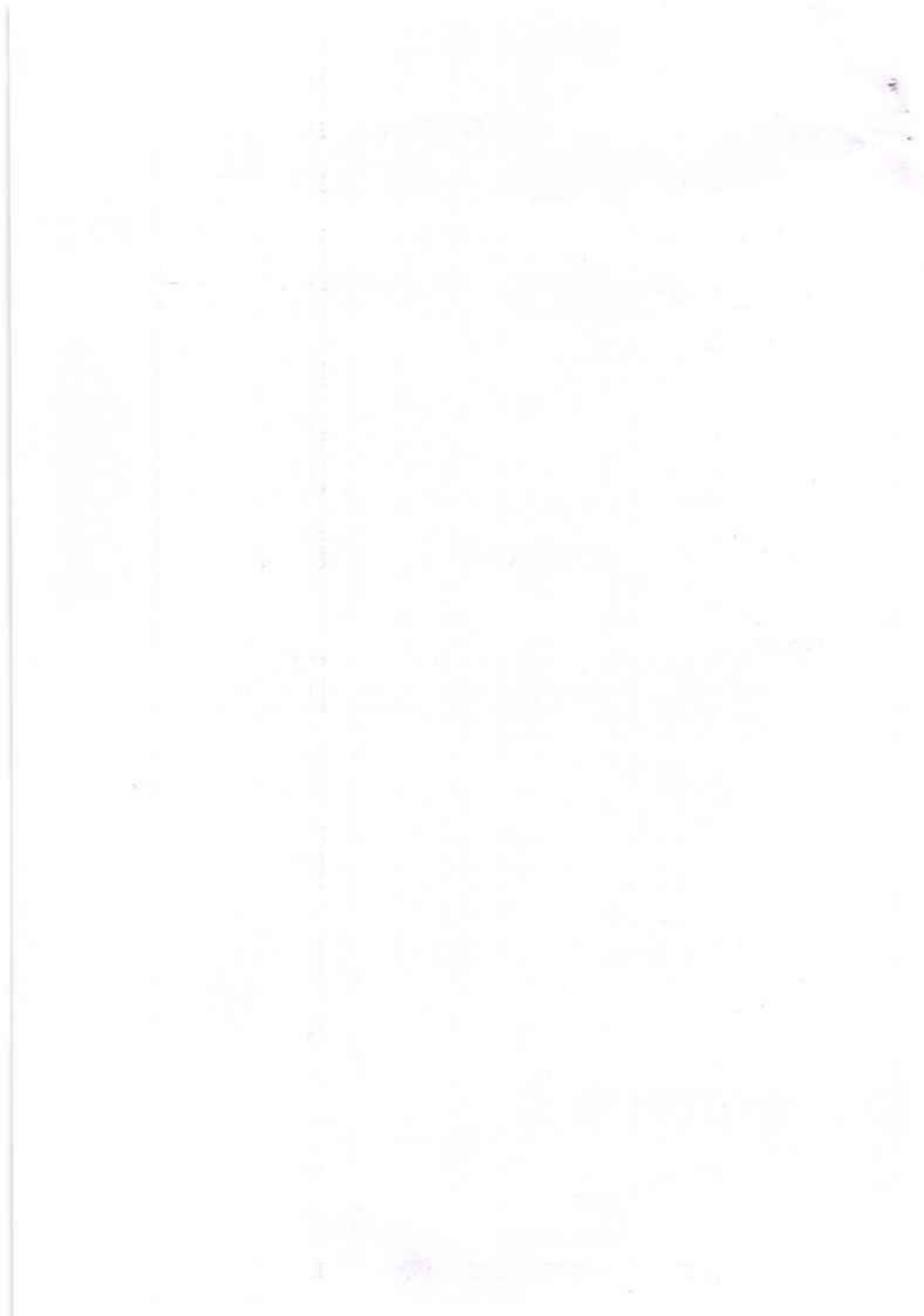
District: South 24-Parganas, P.S:- Sonarpur, Municipality: RAJPUR-SONARPUR, Road: RAMCHANDRA DEY STREET, Mouza: Jegaddal, JI No: 71, Pin Code : 700149

Sch No	Plot Number	Khatian Number	Land Use Proposed ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	LR-1095 (RS :-)	LR-3201	Bestu Bestu	1.524 Dec	4,82,400/-	6,26,473/-	Width of Approach Road: 10 Ft. <
L2	LR-1096 (RS :-)	LR-3201	Bestu Bestu	0.524 Dec	1,83,400/-	1,90,545/-	Property is on Road
L3	LR-1097 (RS :-)	LR-3201	Bestu Bestu	2.595 Dec	9,08,250/-	9,43,635/-	Property is on Road
L4	LR-1098 (RS :-)	LR-3201	Bestu Bestu	0.857 Dec	2,99,950/-	3,11,636/-	Property is on Road
L5	LR-1099 (RS :-)	LR-3201	Bestu Bestu	0.095 Dec	33,250/-	34,545/-	Property is on Road
L6	LR-1100 (RS :-)	LR-3201	Bestu Bestu	1.214 Dec	4,24,900/-	4,41,454/-	Property is on Road
L7	LR-1104 (RS :-)	LR-3201	Bestu Bestu	0.469 Dec	1,64,150/-	1,70,545/-	Property is on Road
L8	LR-1086 (RS :-)	LR-3201	Bestu Bestu	0.357 Dec	1,24,950/-	1,29,818/-	Property is on Road
L9	LR-1090 (RS :-)	LR-3201	Bestu Bestu	0.75 Dec	2,62,500/-	2,72,727/-	Property is on Road



Query No: 2000387711 of 2021, Printed On: 18/02/2021 12:00PM, Generated from Registration office

AS- 1 of 5



L8	LR-1086 (RS :-)	LR-3201	Bastu	Bastu	0.357 Dec	1,24,950/-	1,20,818/-	Property is on Road
L9	LR-1090 (RS :-)	LR-3201	Bastu	Bastu	0.75 Dec	2,62,500/-	2,72,727/-	Property is on Road
L10	LR-1092 (RS :-)	LR-3201	Bastu	Bastu	1.476 Dec	5,16,600/-	5,36,727/-	Property is on Road
L11	LR-1091 (RS :-)	LR-3201	Bastu	Bastu	0.452 Dec	1,58,200/-	1,64,363/-	Property is on Road
		TOTAL :			10.313Dec	35,58,550 /-	37,50,176 /-	

District: South 24-Parganas, Thana: Sonarpur, Municipality: RAJPUR-SONARPUR, Road: RAMCHANDRA DEY STREET, Mouza: Elacpi, JI No: 70, Pin Code: 700149

Sch No	Plot Number	Khatian Number	Land Use	ROR Proposed	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L12	LR-2127 (RS :-)	LR-2681	Bastu	Bastu	0.54 Dec	2,81,563/-	2,97,000/-	Property is on Road
L13	LR-2040 (RS :-)	LR-2681	Bastu	Bastu	0.333 Dec	1,73,631/-	1,83,150/-	Property is on Road
L14	LR-2041 (RS :-)	LR-2681	Bastu	Bastu	0.549 Dec	2,86,256/-	3,01,950/-	Property is on Road
		TOTAL :			1.422Dec	7,41,450 /-	7,82,100 /-	
		Grand Total :			11.735Dec	43,00,000 /-	45,32,276 /-	

Seller Details :

Sl No	Name & address	Status	Execution Admission Details :
1	ANKIT COMMODEAL PRIVATE LIMITED (Private Limited Company) 144, RAMDULAL SARKAR STREET, P.O:- BEADON STREET, P.S:- Burtola, Kolkata, District-Kolkata, West Bengal, India, PIN - 700006 PAN No. AAxxxxxx0B, Aadhaar No Not Provided by UIDAIStatus :Organization, Executed by: Representative	Organization	Executed by: Representative

Buyer Details :

Sl No	Name & address	Status	Execution Admission Details :
1	Mr ASHOK KUMAR AGRAWALLA Son of Late SATYA NARAYAN AGRAWALLA, Asha Tower,, Block/Sector: 5D, 34/1 Bondel Road, P.O:- BALLYGUNGE, P.S:- Karaya, District-South 24-Parganas, West Bengal, India, PIN - 700019 Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of: India, PAN No. ACxxxxxx3J, Aadhaar No.: 93xxxxxxxx5130, Status :Individual, Executed by: Self To be Admitted by: Self	Individual	Executed by: Self To be Admitted by: Self



Query No: 2000387711 of 2021, Printed On: Feb 20 2021 9:15PM, Generated from s/registration.gov.in

AS- 2 of 5



Representative Details :

Sl No	Name & Address	Representative of
1	Mrs Papiya Kundu Wife of Mr Nitya Nanda Kundu 40A W.C. Banerjee Street, P.O:- Beadon Street, P.S:- Burtola, Kolkata, District:-Kolkata, West Bengal, India. PIN - 700006 Sex: Female, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No. ANxxxxxx3A, Aadhaar No.: 69xxxxxxx2791	ANKIT COMMODEAL PRIVATE LIMITED (as DIRECTOR)

Land Details as per Land Record

District: South 24-Parganas, Thana: Sonarpur, Municipality: RAJPUR-SONARPUR, Road: RAMCHANDRA DEY
STREET, Mouza: Jagaddal, JI No: 71, Pin Code: 700149

Sc No	Plot & Khatian Number	Details Of Land	Owner Name in English as Selected by Applicant
L1	LR Plot No:- 1095, LR Khatian No:- 3201	Owner: অধিত কমেডিল গ্রা: সি:, Address: নিত, Classification: বাগান, Area: 0.01 Acre.	ANKIT COMMODEAL PRIVATE LIMITED
L2	LR Plot No:- 1096, LR Khatian No:- 3201	Owner: অধিত কমেডিল গ্রা: সি:, Address: নিত, Classification: বাগান, Area: 0.01 Acre.	ANKIT COMMODEAL PRIVATE LIMITED
L3	LR Plot No:- 1097, LR Khatian No:- 3201	Owner: অধিত কমেডিল গ্রা: সি:, Address: নিত, Classification: বাগান, Area: 0.02 Acre.	ANKIT COMMODEAL PRIVATE LIMITED
L4	LR Plot No:- 1098, LR Khatian No:- 3201	Owner: অধিত কমেডিল গ্রা: সি:, Address: নিত, Classification: পুকুর, Area: 0.01 Acre.	ANKIT COMMODEAL PRIVATE LIMITED
L5	LR Plot No:- 1099, LR Khatian No:- 3201	Owner: অধিত কমেডিল গ্রা: সি:, Address: নিত, Classification: পুকুর, Area: 0.01 Acre.	ANKIT COMMODEAL PRIVATE LIMITED
L6	LR Plot No:- 1100, LR Khatian No:- 3201	Owner: অধিত কমেডিল গ্রা: সি:, Address: নিত, Classification: বাগান, Area: 0.02 Acre.	ANKIT COMMODEAL PRIVATE LIMITED
L7	LR Plot No:- 1104, LR Khatian No:- 3201	Owner: অধিত কমেডিল গ্রা: সি:, Address: নিত, Classification: বাগান, Area: 0.01 Acre.	ANKIT COMMODEAL PRIVATE LIMITED
L8	LR Plot No:- 1086, LR Khatian No:- 3201	Owner: অধিত কমেডিল গ্রা: সি:, Address: নিত, Classification: বাগান, Area: 0.01 Acre.	ANKIT COMMODEAL PRIVATE LIMITED
L9	LR Plot No:- 1090, LR Khatian No:- 3201	Owner: অধিত কমেডিল গ্রা: সি:, Address: নিত, Classification: বাগান, Area: 0.01 Acre.	ANKIT COMMODEAL PRIVATE LIMITED
L10	LR Plot No:- 1092, LR Khatian No:- 3201	Owner: অধিত কমেডিল গ্রা: সি:, Address: নিত, Classification: বাগান, Area: 0.02 Acre.	ANKIT COMMODEAL PRIVATE LIMITED
L11	LR Plot No:- 1091, LR Khatian No:- 3201	Owner: অধিত কমেডিল গ্রা: সি:, Address: নিত, Classification: বাগান, Area: 0.02 Acre.	ANKIT COMMODEAL PRIVATE LIMITED

District: South 24-Parganas, Thana: Sonarpur, Municipality: RAJPUR-SONARPUR, Road: RAMCHANDRA DEY
STREET, Mouza: Elachi, JI No: 70, Pin Code: 700149

Sc No	Plot & Khatian Number	Details Of Land	Owner Name in English as Selected by Applicant
L12	LR Plot No:- 2127, LR Khatian No:- 2681	Owner: অধিত কমেডিল, Gurdian: গ্রা: সি:, Address: নিত, Classification: বাগান, Area: 0.01 Acre.	ANKIT COMMODEAL PRIVATE LIMITED
L13	LR Plot No:- 2040, LR Khatian No:- 2681	Owner: অধিত কমেডিল, Gurdian: গ্রা: সি:, Address: নিত, Classification: বাগান, Area: 0.01 Acre.	ANKIT COMMODEAL PRIVATE LIMITED
L14	LR Plot No:- 2041, LR Khatian No:- 2681	Owner: অধিত কমেডিল, Gurdian: গ্রা: সি:, Address: নিত, Classification: বাগান, Area: 0.01 Acre.	ANKIT COMMODEAL PRIVATE LIMITED



Query No: 2000387711 of 2021, Printed On: Feb 20 2021, 9:15PM, Generated from: webregistration.gov.in

AS-3 of 5



Govt. of West Bengal
Directorate of Registration & Stamp Revenue
GRIPS eChallan

GRN Details

GRN: 192020210241602481 Payment Mode: Online Payment
GRN Date: 08/03/2021 15:53:41 Bank/Gateway: HDFC Bank
BRN : 1388501398 BRN Date: 08/03/2021 15:03:07
Payment Status: Successful Payment Ref. No: 2000387711/1/2021
[Query No */Query Year]

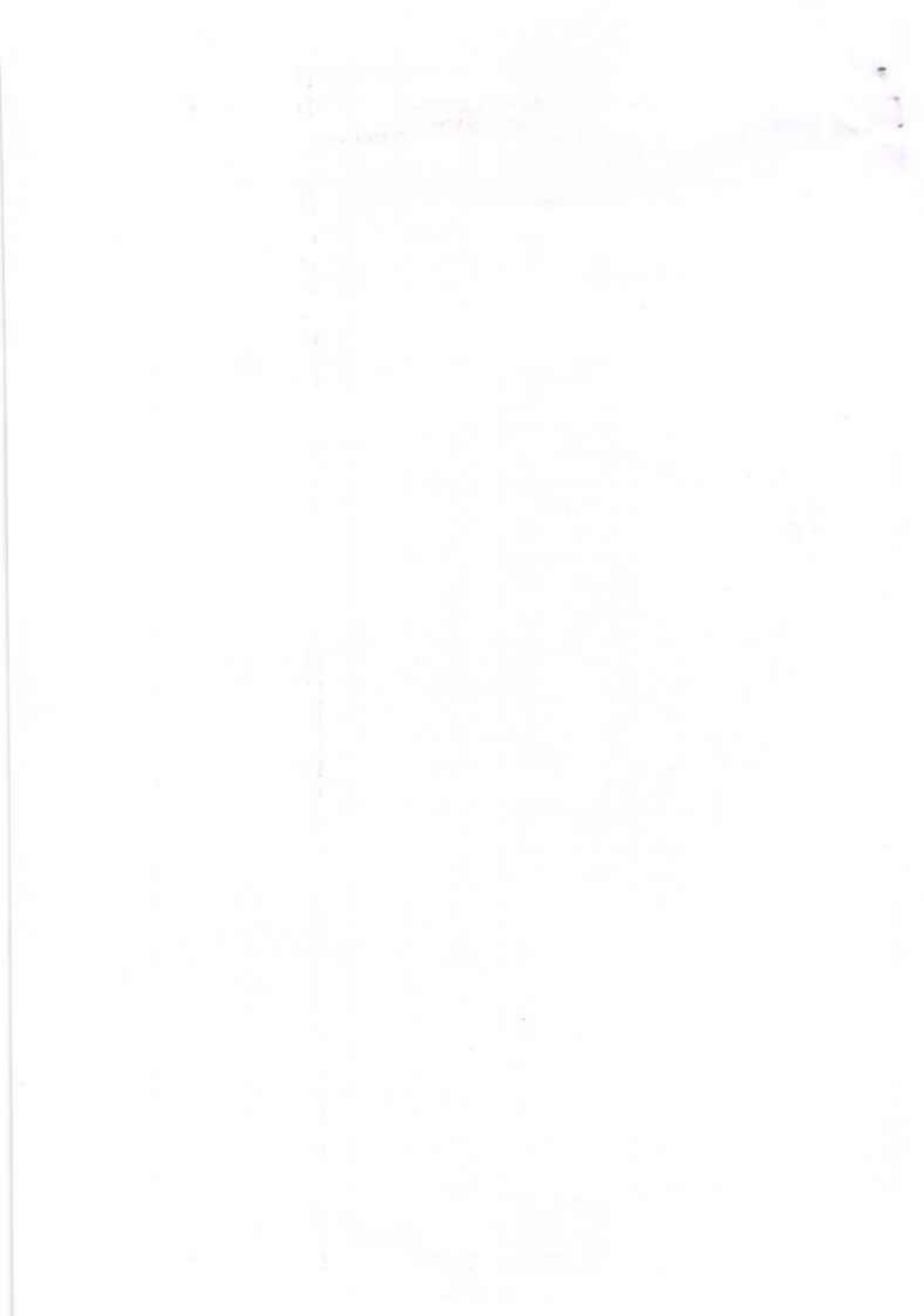
Depositor Details

Depositor's Name: ASHOK KUMAR AGRAWALLA
Address: 34/1 BONDEL ROAD KOLKATA
Mobile: 9830070160
EMail: bansalashokandco@yahoo.co.in
Depositor Status: Buyer/Claimants
Query No: 2000387711
On Behalf Of: Mr SANJOY BISWAS
Identification No: 2000387711/1/2021
Remarks: Sale, Sale Document

Payment Details

SL No	Payment ID	Head of A/C Description	Head of A/C	Amount (₹)
1	2000387711/1/2021	Property Registration-Stamp duty	0030-03-103-003-02	270937
2	2000387711/1/2021	Property Registration-Registration Fees	0030-03-104-001-16	45323
3	2000387711/1/2021	Mutation/Conversion -Receipt	0029-00-800-028-27	510
Total				316770

IN WORDS: THREE LAKH SIXTEEN THOUSAND SEVEN HUNDRED SEVENTY ONLY.





Govt. of West Bengal
Directorate of Registration & Stamp Revenue
GRIPS eChallan

GRN Details

GRN:	192020210244793721	Payment Mode:	Online Payment
GRN Date:	15/03/2021 12:38:23	Bank/Gateway:	State Bank of India
BRN :	IK0BAOIXM2	BRN Date:	15/03/2021 12:03:39
Payment Status:	Successful	Payment Ref. No:	2000387711/8/2021

[Query No*/Query Year]

Depositor Details

Depositor's Name:	ashok kumar agarawalla
Address:	34/1, bondel road kolkata
Mobile:	9830070160
Depositor Status:	Buyer/Claimants
Query No:	2000387711
On Behalf Of:	Mr SANJOY BISWAS
Address:	D.S.R. - IV SOUTH 24-PARGANAS
Office Name:	D.S.R. - IV SOUTH 24-PARGANAS
Identification No:	2000387711/8/2021
Remarks:	Sale, Sale Document Payment No 8

Payment Details

Sl. No.	Payment ID	Head of A/C Description	Head of A/C	Amount (₹)
1	2000387711/8/2021	Property Registration- Stamp duty	0030-02-103-003-02	20
2	2000387711/8/2021	Property Registration- Registration Fees	0030-03-104-001-16	46
Total				66

IN WORDS: SIXTY SIX ONLY.

Major Information of the Deed

Deed No :	I-1604-02056/2021	Date of Registration	15/03/2021
Query No / Year	1604-2000387711/2021	Office where deed is registered	
Query Date	20/02/2021 9:15:31 PM	1604-2000387711/2021	
Applicant Name, Address & Other Details	SANJOY BISWAS N.S ROAD, HRIDAYPUR, Thana : Barasat, District : North 24-Parganas, WEST BENGAL, PIN - 700127, Mobile No. : 9883267297, Status : Advocate		
Transaction	Additional Transaction		
[0101] Sale, Sale Document	[4305] Other than Immovable Property, Declaration [No of Declaration : 2]		
Set Forth value	Market Value		
Rs. 43,00,000/-	Rs. 45,32,276/-		
Stampduty Paid(SD)	Registration Fee Paid		
Rs. 2,71,957/- (Article:23)	Rs. 45,369/- (Article:A(1), E, M)		
Remarks	Received Rs. 50/- (FIFTY only) from the applicant for issuing the assement slip.(Urban area)		

Land Details :

District: South 24-Parganas, P.S:- Sonarpur, Municipality: RAJPUR-SONARPUR, Road: RAMCHANDRA DEY STREET, Mouza: Jagaddal, JI No: 71, Pin Code : 700149

Sch No	Plot Number	Khatian Number	Land Proposed	Use ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	LR-1095 (RS :-)	LR-3201	Bastu	Bastu	1.524 Dec	4,82,400/-	5,54,181/-	Property is on Road
L2	LR-1096 (RS :-)	LR-3201	Bastu	Bastu	0.524 Dec	1,83,400/-	1,90,545/-	Property is on Road
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L6	LR-1100 (RS :-)	LR-3201	Bastu	Bastu	1.214 Dec	4,24,900/-	4,41,454/-	Property is on Road
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L11	LR-1091 (RS :-)	LR-3201	Bastu	Bastu	0.452 Dec	1,58,200/-	1,64,363/-	Property is on Road
TOTAL :					10.313Dec	35,58,550 /-	37,50,176 /-	

District: South 24-Parganas, P.S:- Sonarpur, Municipality: RAJPUR-SONARPUR, Road: RAMCHANDRA DEY STREET, Mouza: Elachi, JI No: 70, Pin Code : 700149

Sch No	Plot Number	Khatian Number	Land Proposed	Use ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
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L14	LR-2041 (RS :-)	LR-2681	Bastu	Bastu	0.549 Dec	2,86,256/-	3,01,950/-	Property is on Road
		TOTAL :			1.422Dec	7,41,450 /-	7,82,100 /-	
	Grand Total :				11.735Dec	43,00,000 /-	45,32,276 /-	

Seller Details :

SI No	Name,Address,Photo,Finger print and Signature
1	ANKIT COMMODEAL PRIVATE LIMITED 144, RAMDULAL SARKAR STREET, P.O:- BEADON STREET, P.S:- Burtola, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700006 , PAN No.: AAxxxxxx0B, Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative

Buyer Details :

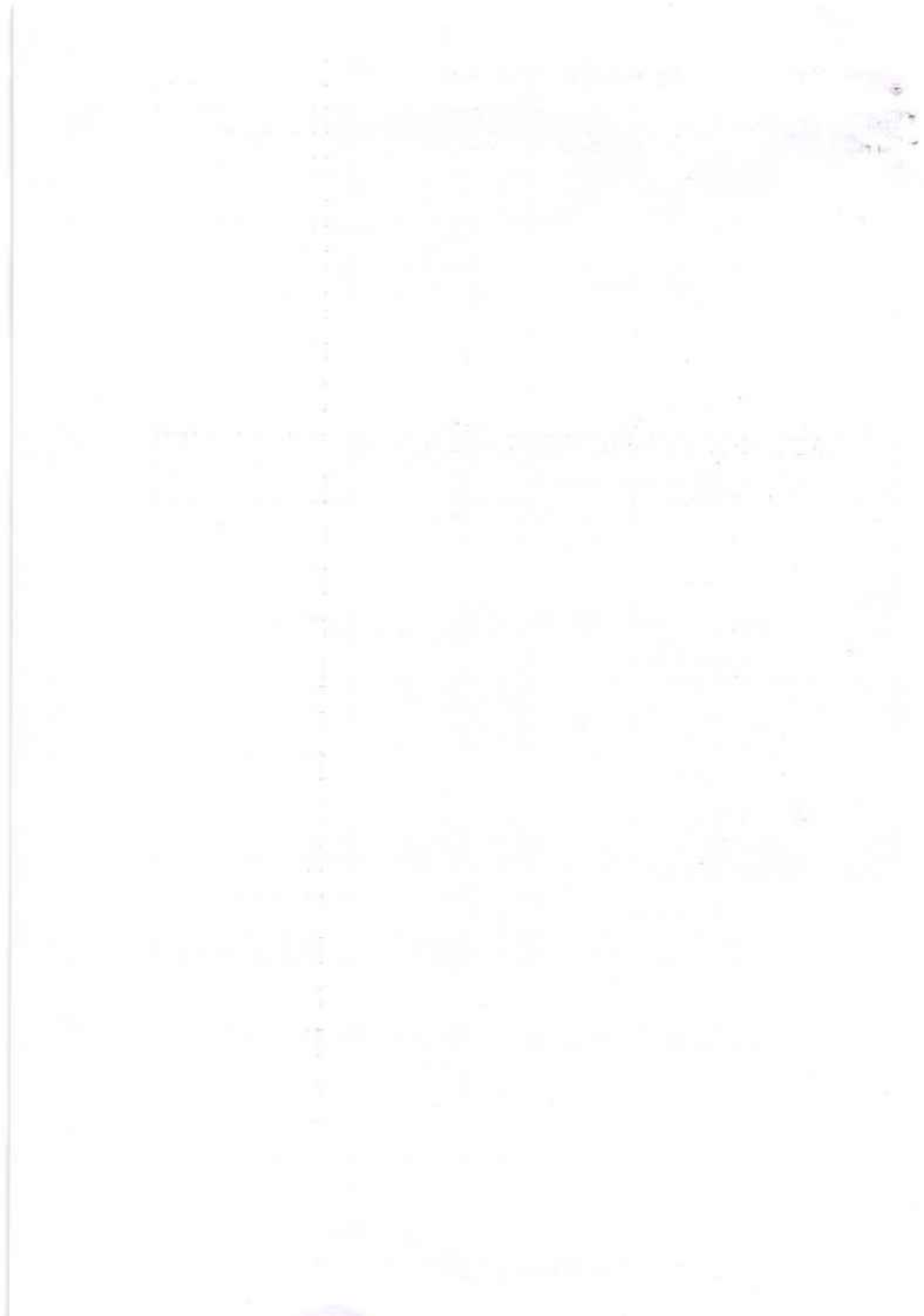
SI No	Name,Address,Photo,Finger print and Signature
1	Mr ASHOK KUMAR AGRAWALLA Son of Late SATYA NARAYAN AGRAWALLA Asha Tower,, Block/Sector: 5D, 34/1 Bondel Road, P.O:- BALLYGUNGE, P.S:- Karaya, District:-South 24-Parganas, West Bengal, India, PIN - 700019 Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of: India, PAN No.: ACxxxxxx3J, Aadhaar No: 93xxxxxxxx5130, Status :Individual, Executed by: Self, Date of Execution: 09/03/2021 Admitted by: Self, Date of Admission: 10/03/2021 ,Place : Pvt. Residence

Representative Details :

SI No	Name,Address,Photo,Finger print and Signature
1	Mrs Papiya Kundu (Presentant) Wife of Mr Nitya Nanda Kundu 40A W.C. Banerjee Street, P.O:- Beadon Street, P.S:- Burtola, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700006, Sex: Female, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.: ANxxxxxx3A, Aadhaar No: 69xxxxxxxx2791 Status : Representative, Representative of : ANKIT COMMODEAL PRIVATE LIMITED (as DIRECTOR)

Identifier Details :

Name	Photo	Finger Print	Signature
Mr SANJOY BISWAS Son of Mr. BALAI BISWAS N.S ROAD, P.O:- HRIDAYPUR, P.S:- Barasat, Barasat, District:-North 24-Parganas, West Bengal, India, PIN - 700127			



Transfer of property for L1

Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-1.524 Dec

Transfer of property for L10

Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-1.476 Dec

Transfer of property for L11

Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-0.452 Dec

Transfer of property for L12

Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-0.54 Dec

Transfer of property for L13

Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-0.333 Dec

Transfer of property for L14

Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-0.549 Dec

Transfer of property for L2

Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-0.524 Dec

Transfer of property for L3

Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-2.595 Dec

Transfer of property for L4

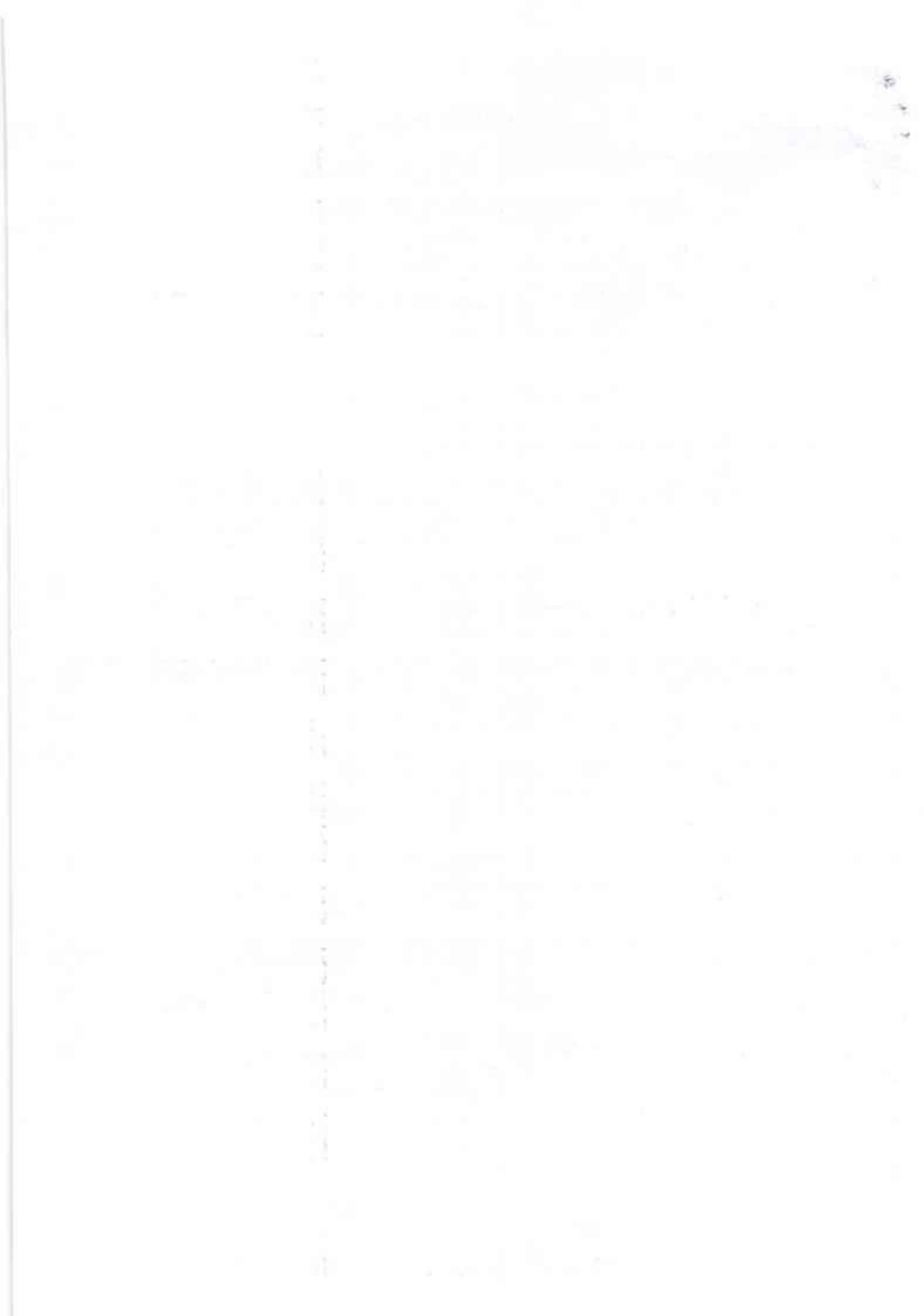
Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-0.857 Dec

Transfer of property for L5

Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-0.095 Dec

Transfer of property for L6

Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-1.214 Dec

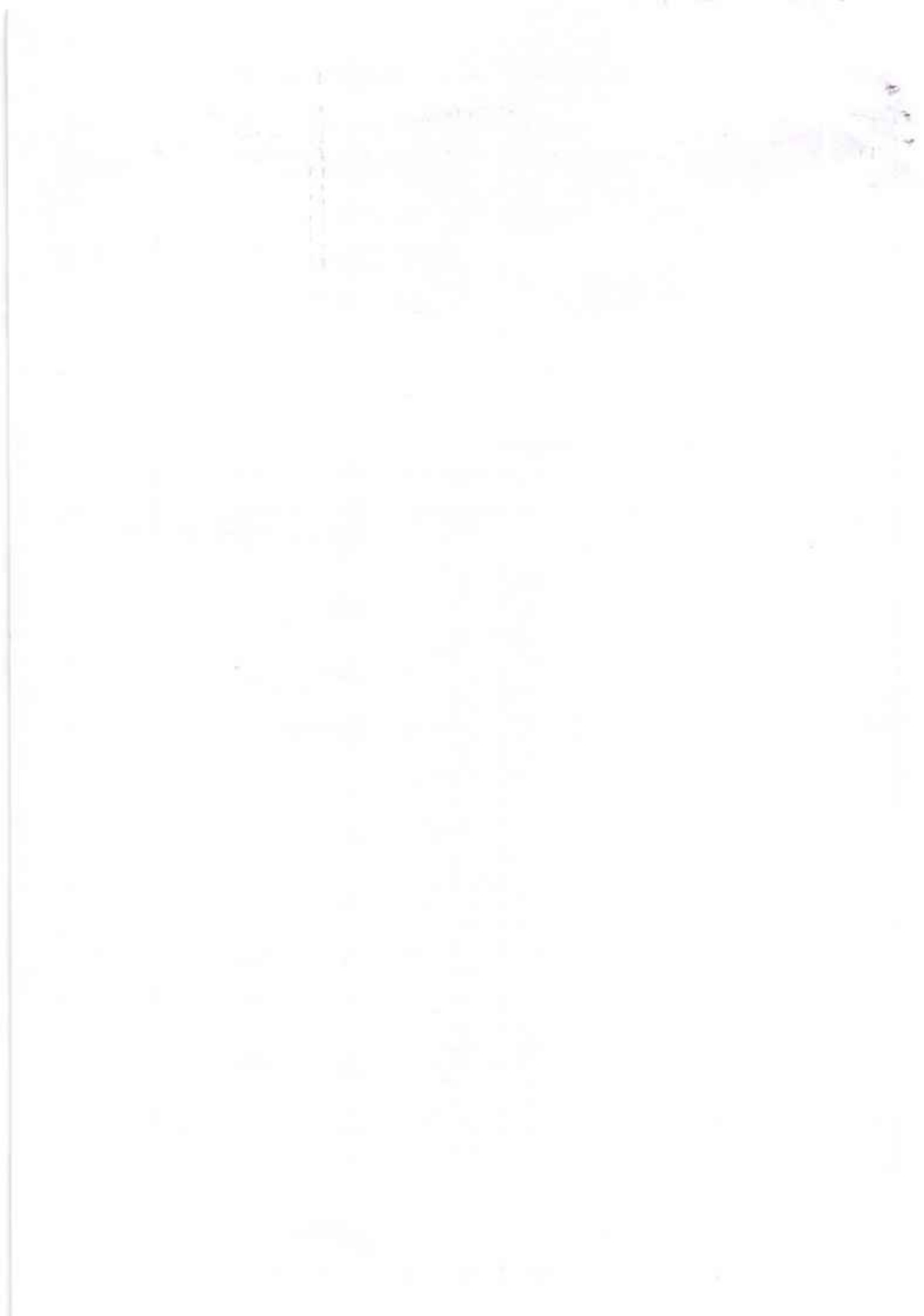


Transfer of property for L7		
Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-0.469 Dec
Transfer of property for L8		
Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-0.357 Dec
Transfer of property for L9		
Sl.No	From	To. with area (Name-Area)
1	ANKIT COMMODEAL PRIVATE LIMITED	Mr ASHOK KUMAR AGRAWALLA-0.75 Dec

Land Details as per Land Record

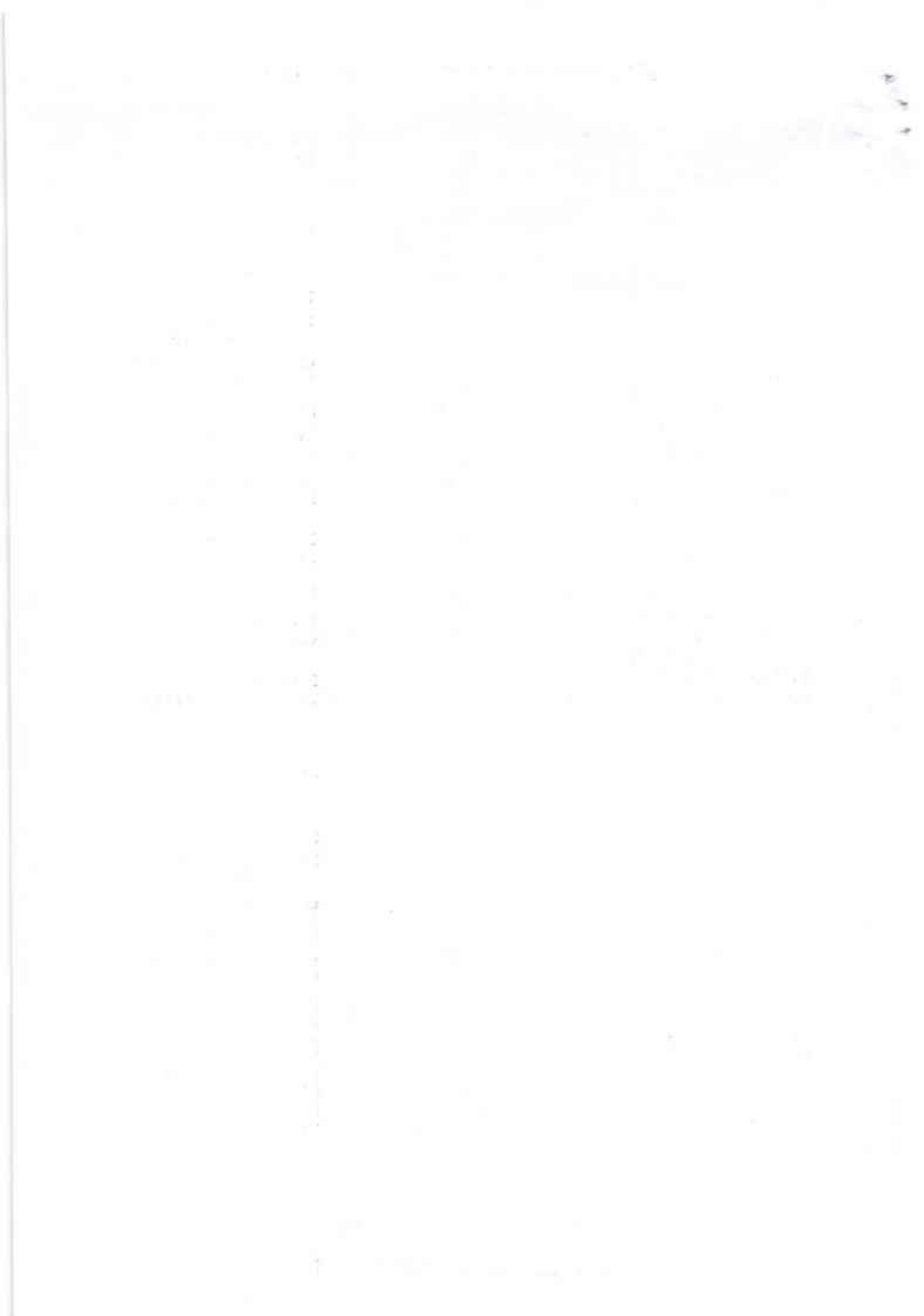
District: South 24-Parganas, P.S:- Sonarpur, Municipality: RAJPUR-SONARPUR, Road: RAMCHANDRA DEY STREET, Mouza: Jagaddal, JI No: 71, Pin Code : 700149

Sch No	Plot & Khatian Number	Details Of Land	Owner name in English as selected by Applicant
L1	LR Plot No:- 1095, LR Khatian No:- 3201	Owner:অমিত কমেডিল প্রা লিম, Address:নিজ, Classification:বাগান, Area:0.01000000 Acre,	ANKIT COMMODEAL PRIVATE LIMITED
L2	LR Plot No:- 1096, LR Khatian No:- 3201	Owner:অমিত কমেডিল প্রা লিম, Address:নিজ, Classification:বাগান, Area:0.01000000 Acre,	ANKIT COMMODEAL PRIVATE LIMITED
L3	LR Plot No:- 1097, LR Khatian No:- 3201	Owner:অমিত কমেডিল প্রা লিম, Address:নিজ, Classification:বাগান, Area:0.02000000 Acre,	ANKIT COMMODEAL PRIVATE LIMITED
L4	LR Plot No:- 1098, LR Khatian No:- 3201	Owner:অমিত কমেডিল প্রা লিম, Address:নিজ, Classification:পুকুর, Area:0.01000000 Acre,	ANKIT COMMODEAL PRIVATE LIMITED
L5	LR Plot No:- 1099, LR Khatian No:- 3201	Owner:অমিত কমেডিল প্রা লিম, Address:নিজ, Classification:পুকুর শাভ, Area:0.01000000 Acre,	ANKIT COMMODEAL PRIVATE LIMITED
L6	LR Plot No:- 1100, LR Khatian No:- 3201	Owner:অমিত কমেডিল প্রা লিম, Address:নিজ, Classification:বাগান, Area:0.02000000 Acre,	ANKIT COMMODEAL PRIVATE LIMITED
L7	LR Plot No:- 1104, LR Khatian No:- 3201	Owner:অমিত কমেডিল প্রা লিম, Address:নিজ, Classification:বাগ, Area:0.01000000 Acre,	ANKIT COMMODEAL PRIVATE LIMITED
L8	LR Plot No:- 1086, LR Khatian No:- 3201	Owner:অমিত কমেডিল প্রা লিম, Address:নিজ, Classification:বাগ, Area:0.01000000 Acre,	ANKIT COMMODEAL PRIVATE LIMITED
L9	LR Plot No:- 1090, LR Khatian No:- 3201	Owner:অমিত কমেডিল প্রা লিম, Address:নিজ, Classification:বাগান, Area:0.01000000 Acre,	ANKIT COMMODEAL PRIVATE LIMITED
L10	LR Plot No:- 1092, LR Khatian No:- 3201	Owner:অমিত কমেডিল প্রা লিম, Address:নিজ, Classification:ভাঙ্গা, Area:0.02000000 Acre,	ANKIT COMMODEAL PRIVATE LIMITED
L11	LR Plot No:- 1091, LR Khatian No:- 3201	Owner:অমিত কমেডিল প্রা লিম, Address:নিজ, Classification:ভাঙ্গা, Area:0.01000000 Acre,	ANKIT COMMODEAL PRIVATE LIMITED



District: South 24-Parganas, P.S:- Sonarpur, Municipality: RAJPUR-SONARPUR, Road: RAMCHANDRA DEY STREET, Mouza: Elachi, JI No: 70, Pin Code : 700149

Sch No	Plot & Khatian Number	Details Of Land	Owner name in English as selected by Applicant
L12	LR Plot No:- 2127, LR Khatian No:- 2681	Owner:অক্ষিত কোমোডেল, Gurdian:প্রঃ সিঃ, Address:নিজ , Classification:বাংলা, Area:0.01000000 Acre,	ANKIT COMMODEAL PRIVATE LIMITED
L13	LR Plot No:- 2040, LR Khatian No:- 2681	Owner:অক্ষিত কোমোডেল, Gurdian:প্রঃ সিঃ, Address:নিজ , Classification:বাংলা,	ANKIT COMMODEAL PRIVATE LIMITED
L14	LR Plot No:- 2041, LR Khatian No:- 2681	Owner:অক্ষিত কোমোডেল, Gurdian:প্রঃ সিঃ, Address:নিজ , Classification:বাংলা,	ANKIT COMMODEAL PRIVATE LIMITED



On 09-03-2021

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 45,32,276/-


Pradipta Kishore Guha
DISTRICT SUB-REGISTRAR
OFFICE OF THE D.S.R. - IV SOUTH 24-
PARGANAS
South 24-Parganas, West Bengal

On 10-03-2021

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules 1962)

Presented for registration at 15:52 hrs on 10-03-2021, at the Private residence by Mrs Papiya Kundu ,.

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 10/03/2021 by Mr ASHOK KUMAR AGRAWALLA, Son of Late SATYA NARAYAN AGRAWALLA, Asha Tower,, Sector: 5D, 34/1 Bondel Road, P.O: BALLYGUNGE, Thana: Karaya, , South 24-Parganas, WEST BENGAL, India, PIN - 700019, by caste Hindu, by Profession Others

Indetified by Mr SANJOY BISWAS, ., Son of Mr BALAI BISWAS, N.S ROAD, P.O: HRIDAYPUR, Thana: Barasat, , City/Town: BARASAT, North 24-Parganas, WEST BENGAL, India, PIN - 700127, by caste Hindu, by profession Advocate

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 10-03-2021 by Mrs Papiya Kundu, DIRECTOR, ANKIT COMMODEAL PRIVATE LIMITED (Private Limited Company), 144, RAMDULAL SARKAR STREET, P.O:- BEADON STREET, P.S:- Burtola, Kolkata, District-Kolkata, West Bengal, India, PIN - 700006

Indetified by Mr SANJOY BISWAS, ., Son of Mr BALAI BISWAS, N.S ROAD, P.O: HRIDAYPUR, Thana: Barasat, , City/Town: BARASAT, North 24-Parganas, WEST BENGAL, India, PIN - 700127, by caste Hindu, by profession Advocate


Pradipta Kishore Guha
DISTRICT SUB-REGISTRAR
OFFICE OF THE D.S.R. - IV SOUTH 24-
PARGANAS
South 24-Parganas, West Bengal

On 15-03-2021

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

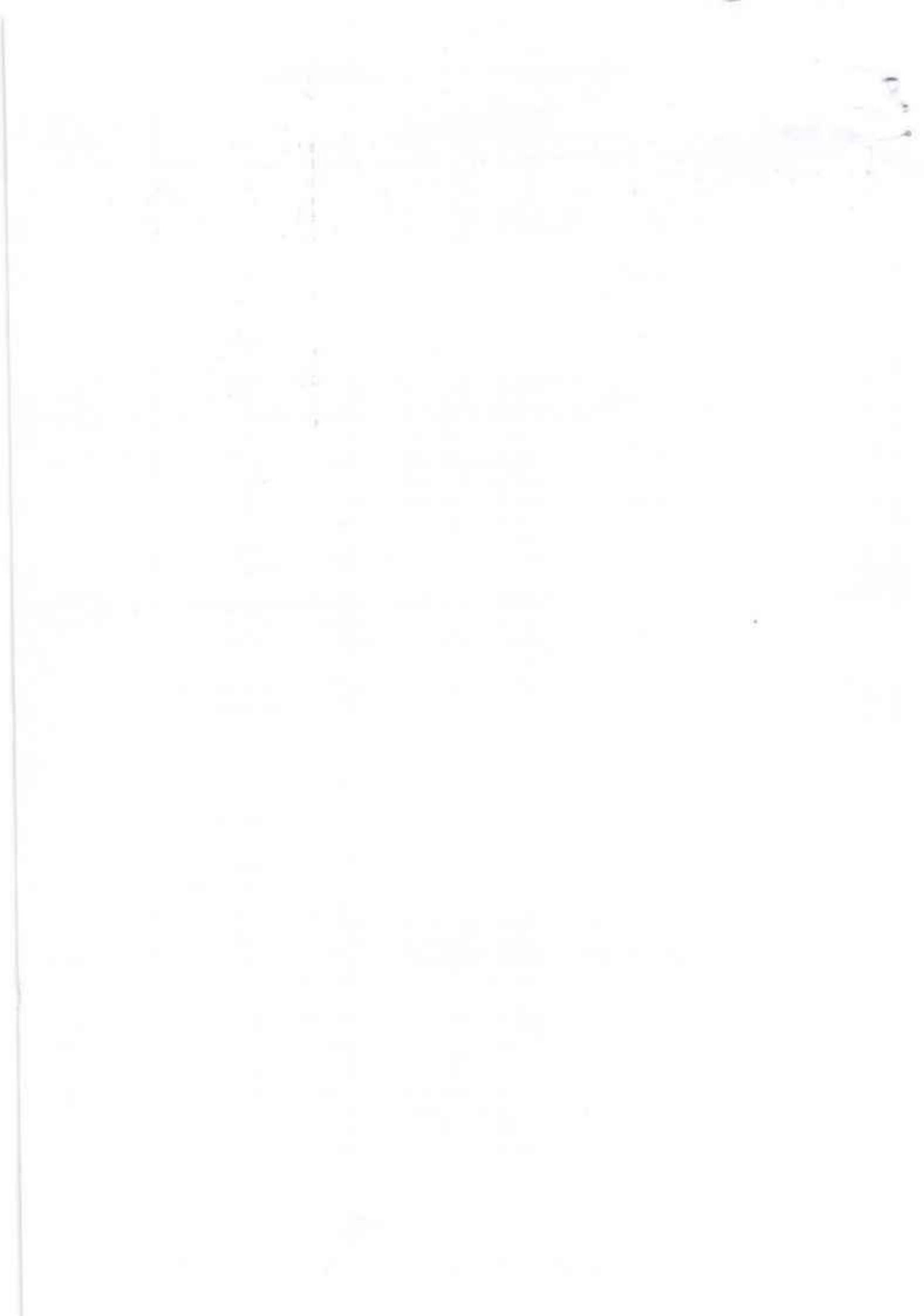
Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 23 of Indian Stamp Act 1899.

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 45,369/- (A(1) = Rs 45,323/- ,E = Rs 14/- ,H = Rs 28/- ,M(b) = Rs 4/-) and Registration Fees paid by Cash Rs 0/-, by online = Rs 45,369/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB
Online on 08/03/2021 3:55PM with Govt. Ref. No: 192020210241602481 on 08-03-2021, Amount Rs: 45,323/-, Bank: HDFC Bank (HDFC0000014), Ref. No. 1388501398 on 08-03-2021, Head of Account 0030-03-104-001-16

Online on 15/03/2021 12:39PM with Govt. Ref. No: 192020210244793721 on 15-03-2021, Amount Rs: 46/-, Bank: State Bank of India (SBIN0000001), Ref. No. IK0BAOIXM2 on 15-03-2021, Head of Account 0030-03-104-001-16



Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 2,71,957/- and Stamp Duty paid by Stamp Rs 1,000/-, by online = Rs 2,70,957/-

Description of Stamp

1. Stamp: Type: Impressed, Serial no 363, Amount: Rs.1,000/-, Date of Purchase: 02/03/2021, Vendor name: S Bose
Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB
Online on 08/03/2021 3:55PM with Govt. Ref. No: 192020210241602481 on 08-03-2021, Amount Rs: 2,70,937/-,
Bank: HDFC Bank (HDFC0000014), Ref. No. 1388501398 on 08-03-2021, Head of Account 0030-02-103-003-02
Online on 15/03/2021 12:39PM with Govt. Ref. No: 192020210244793721 on 15-03-2021, Amount Rs: 20/-, Bank:
State Bank of India (SBIN0000001), Ref. No. IK0BAOIXM2 on 15-03-2021, Head of Account 0030-02-103-003-02



Pradipta Kishore Guha
DISTRICT SUB-REGISTRAR
OFFICE OF THE D.S.R. - IV SOUTH 24-
PARGANAS
South 24-Parganas, West Bengal



Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 1604-2021, Page from 81709 to 81747
being No 160402056 for the year 2021.



Digitally signed by PRADIPTA KISHORE
GUHA
Date: 2021.03.15 13:20:52 +05:30
Reason: Digital Signing of Deed.

Pradipta Kishore Guha

(Pradipta Kishore Guha) 2021/03/15 01:20:52 PM
DISTRICT SUB-REGISTRAR
OFFICE OF THE D.S.R. - IV SOUTH 24-PARGANAS
West Bengal.

(This document is digitally signed.)

